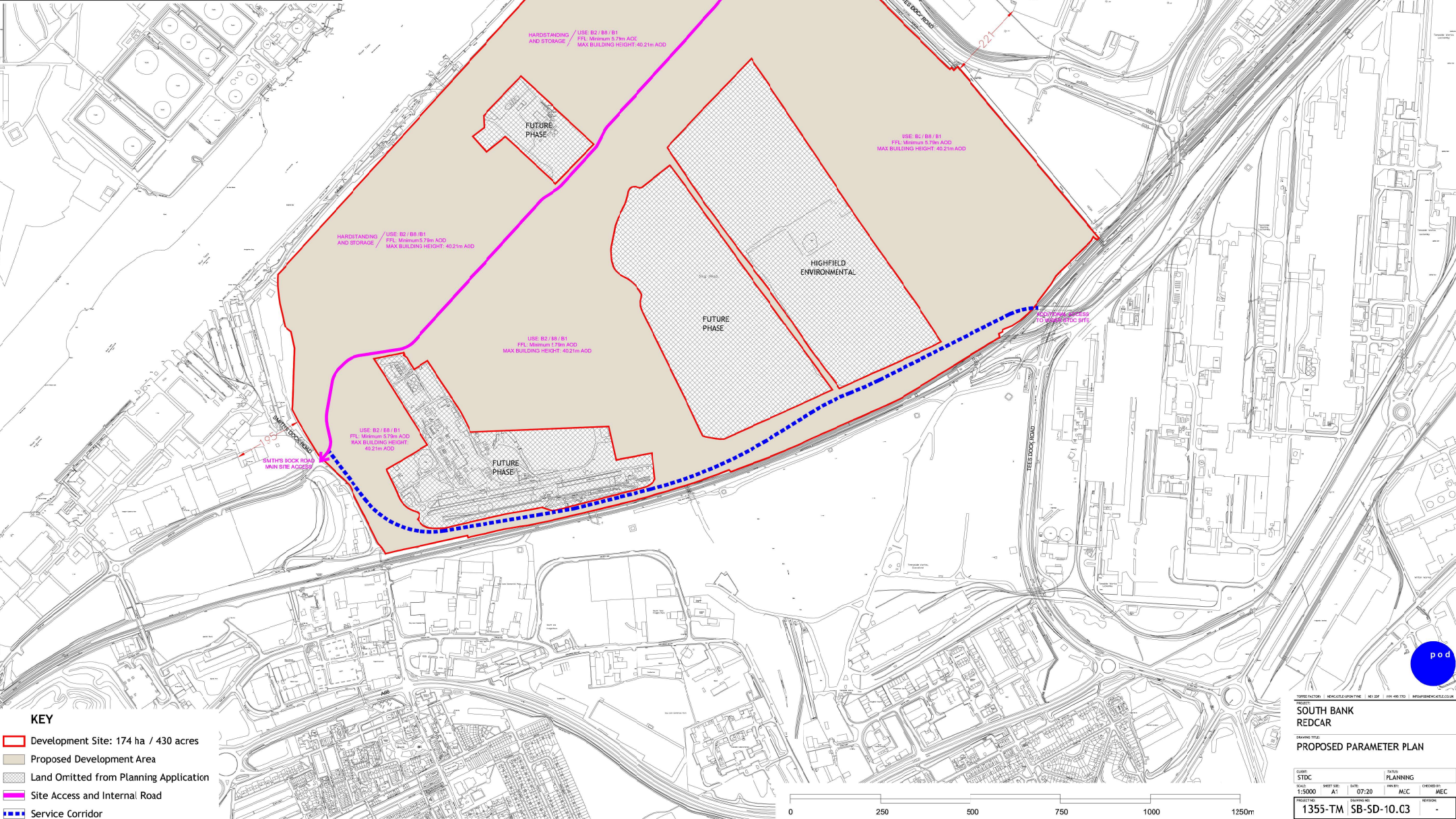


DEVELOPMENT PARAMETERS

Development Parameter	Amount / Use
Use Class	B2 (General Industry) B8 (Storage or Distribution) B1 (Office) (maximum of 10% of overall floorspace)
Maximum Floorspace	418,000 sqm
Maximum Development Height	46m
Finished Floor Level	Minimum 5.79 AOD
Maximum Building Height	40.21m AOD
Access	3 access points: Smiths Dock Road (Main Access) Tees Dock Road (Secondary Access) Additional access to wider STDC site



Do not scale from this drawing. Only figured dimensions are to be taken from this drawing. The contractor must verify all dimensions on site before commencing any work or stop drawing. The contractor must report any discrepancies to POD ENGINEERING LTD before commencing work. If this drawing is used for any other purpose, the contractor must report any discrepancies to POD ENGINEERING LTD before commencing work. POD ENGINEERING LTD is not responsible for the accuracy of dimensions relating to any Ordnance Survey data, or beyond the boundary of the nearest topographic survey data shown within the Construction (Design and Management) Regulation 2015 is not to be used as a health and safety plan for any project. COPYRIGHT © POD ENGINEERING LTD This drawing is Copyright and must not be reproduced in any form or by any means without written permission of POD ENGINEERING LTD.

REV BY DATE

POD ENGINEERING LTD		POD ENGINEERING LTD	
SOUTH BANK REDCAR		SOUTH BANK REDCAR	
PROPOSED PARAMETER PLAN		PROPOSED PARAMETER PLAN	
STDC		STDC	
1:5000		1:5000	
A1		A1	
07:20		07:20	
M/C		M/C	
MEC		MEC	
1355-TM		SB-SD-10.03	